

CHAPTER 1136 – MAIN STREET DISTRICTS REGULATIONS

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(Ord. 31-2021 eff. 07/29/2021)

SECTION 1136.01 INTENT

(a) North Canton’s Main Street is the City’s central commercial corridor and is comprised of five primary districts: Main Street Center (MS-C); Main Street North (MS-N); Main Street South (MS-S); Main Street North Gateway (MS-NG); and Main Street South Gateway (MS-SG) (together, the “Main Street Districts”). These districts are established to promote the development of a higher density, more consistent, walkable urban fabric, and attract increased investment in key commercial corridors and nodes. The Main Street Districts are intended to respect existing surrounding development patterns while promoting desired development patterns within each district.

(b) The following are the general characteristics of the Main Street Districts that these regulations advance:

- (1) A mixture of storefront retail, professional offices, and dwelling units located in residential buildings and in the upper stories or rear and mixed-use buildings;
- (2) Buildings with active building façades set at or close to the sidewalk with parking located along the side and in the rear of buildings; and
- (3) Pedestrian-oriented scale development with sidewalks wide enough for activation and regularly-spaced street trees that promote a walkable environment.

SECTION 1136.02 APPLICABILITY

(a) This Chapter contains the use regulations and development standards for new construction within the five Main Street Districts. Except as otherwise set forth herein, the provisions of this Chapter shall apply, govern, control, and supersede all other regulations of the City of North Canton Zoning Ordinance (“Zoning Ordinance”).

(b) All terms not expressly defined herein shall have the meaning set forth in the Zoning Ordinance. All administrative procedures of the Zoning Ordinance shall apply to this Chapter except that any dimensional or area standard herein may be varied by an amount of up to twenty percent (20%) upon a determination by the Director of Administration, or their designee, that the variance would satisfy the variance standards set forth in the Zoning Ordinance.

SECTION 1136.03 GRAPHIC ILLUSTRATIONS

Graphics are used throughout this Chapter to illustrate the development standards. Graphics are either illustrative or regulatory as indicated.

SECTION 1136.04 USE REGULATION GUIDELINES

(a) Uses Permitted by Right. A use listed in Section 1136.05 shall be permitted by right as a principal use for either the entire building/site or part thereof provided that all requirements of other City ordinances and this Zoning Ordinance have been met according to the following:

- (1) When denoted with the letter “P” the use is permitted by right for the entire building or site meaning such uses may be located within the entire structure, inclusive of the first floor and all upper floors. Furthermore, whole building uses may also be located solely on upper floors or street level floors in addition to the whole building.
- (2) When denoted with the letters “FF” the use is permitted by right on the street level or first floor of a building meaning such uses must exist on the ground floor of the structure accessed by a ground floor entrance.
- (3) When denoted with the letters “UF” the use is permitted by right on the upper floors of a building meaning such uses may not be located on the street level/first floor, but may exist on all other floors above.

(4) Figure 1136.04(d)(4) Regulatory Graphic Illustrating Uses Permitted Within Multi-Story



(b) Conditional Uses. A use listed in Section 1136.05 shall be permitted as a conditional use in a district when denoted by the letter "C", provided the Planning Commission first makes the determination that the requirements of Chapter 1145 have been met according to the procedures set forth in Chapter 1177.

(c) Accessory Uses. A use listed in Section 1136.05 shall be permitted as an accessory use in a district when denoted by the letter "A". Such use shall be permitted as a subordinate building or use when it is clearly incidental to and located on the same lot as the principal building or use. Accessory uses are further regulated in subsequent sections of this Ordinance.

(d) Use Not Listed in Schedule. It is recognized that this Code may require interpretation to assign all possible uses to individual zones or districts. Therefore, any use which is not specifically set forth in this Code shall be reviewed by the Development Services Director to identify the most similar use identified within the Schedule of Permitted Uses and to determine consistency with the intent set forth in the Code and compatibility with districts. Based upon this determination, the proposed use would only be permitted in districts identified within the Schedule of Permitted Uses for the most similar use. Any aggrieved party may file an appeal of this determination with the Zoning and Building Standards of Appeals.

SECTION 1136.05 SCHEDULE OF PERMITTED USES

Land Use Category	MS-C	MS-NG	MS-N	MS-S	MS-SG
Residential					
Multi-Unit Dwelling	UF(a)	UF(a)	UF(a)	UF(a)	UF(a)
Office and Professional Services					
Administrative Government Services	P	P	P	P	P
Business Equipment and Supplies Sales	FF	P	P	P	P
Experimental Testing and Research Facilities	NP	NP	NP	NP	NP

Land Use Category	MS-C	MS-NG	MS-N	MS-S	MS-SG
Hospital and Associated Medical Offices	NP	P	P	P	P
Veterinary Hospital	NP	P	NP	NP	P
Research and Testing Laboratory	NP	P	P	P	P
Office Warehouse and Storage	NP	P	NP	P	P
Offices including Administrative, Medical, Business and Professional	P	P	P	P	P
Funeral Home	NP	P	P	P	P
Call Center	NP	P	NP	NP	P
Distributors, Warehouse and Wholesale Outlet (Including Break-Bulk Operations Such as Bottling and/or Packaging)	NP	P	NP	NP	P
Retail/Services					
Bed and Breakfast	P	NP	P	P	NP
Hotel (Ord. 67-2024, eff. 01/09/2025)	C	NP	NP	NP	NP
Essential Services	P	FF	FF	FF	FF
Financial Office, Bank with Walk up ATM Access only	FF	FF	FF	FF	FF
Personal Services	FF	FF	FF	FF	FF
Restaurant – Counter Service	FF	FF	FF	FF	FF
Restaurant – Table Service	FF	FF	FF	FF	FF
Retail Establishment	FF	FF	FF	FF	FF
Business Services	UF	UF	UF	UF	UF
Massage Studio	UF	UF	UF	UF	UF
Photographic Reproduction Services	UF	UF	UF	UF	UF
Sales Offices with only Sample of Goods	UF	NP	UF	UF	NP
Studios for Instruction	UF	NP	UF	UF	NP
Drive-thru Facility (Ord. 72-2022 eff. 03/16/2022)	NP	C	NP	C	C
Car Wash	NP	C	NP	NP	C
Dry Cleaning and Laundry Counter Outlets	NP	FF	FF	FF	FF
Vehicle Repair Facility	NP	C	C	C	C
Pharmacy	NP	P	FF	FF	P
New car sales	NP	P	NP	NP	NP
Gasoline Station	NP	NP	NP	NP	NP
Entertainment and Recreation					
Outdoor Commercial Recreation	NP	P	NP	NP	P
Concentrated Outdoor Commercial Recreation	NP	P	P	P	P
Indoor Recreation	NP	P	P	P	P
Library or Museum	P	P	P	P	P
Membership Sport/Fitness Club	NP	P	P	P	P

Dance Studios and Schools	FF, UF	FF, UF	FF, UF	FF, UF	FF, UF
Land Use Category	MS-C	MS-NG	MS-N	MS-S	MS-SG
Public Park and/or Playground	P	P	NP	NP	P
Mainstream Media Shop	NP	NP	P	P	NP
Community Facilities					
Adult Day-Care Facility	NP	P	P	P	P
Child Day-Care Center	NP	P	P	P	P
Civic Facility for Public Assembly	P	P	P	P	P
Clubs, Lodges, or Other Assembly Halls	FF	P	P	P	P
Post Secondary School Facilities and Buildings	C	C	C	C	C
K through 12 School Facilities and Buildings	P	C	C	C	C
Facility Providing Government Sponsored Adult Education	NP	P	NP	NP	NP
Public Safety Facility	P	P	P	P	P
Places of Worship	C	P	P	P	P
Parking Garage	C	C	C	C	C
Wireless Telecommunications Facility	See Chapter 1157				
Accessory Uses					
Child Day-Care	A	A	A	A	A
Home Occupation	A	A	A	A	A
Outdoor Dining	A	A	A	A	A
Parking Lot	A	A	A	A	A
Swimming Pool	A	A	A	A	A
Parish Residence, Convent, or other Residential Use Associated with a Place of Worship	NP	A	A	A	A
Flag Poles subject to 1123.04(b)(1)	A	A	A	A	A
Used car sales when accessory to new car sales as the primary use	NP	A	NP	NP	NP
Gasoline Station when accessory to retail use as primary use on 5 or more acres (Ord. 24-2022 eff. 07/22/2022)	NP	A, C	NP	NP	NP
(a) Multi-Unit Dwellings permitted by right for full site/building if property does not have frontage on any of the following roadways: Main St. N or S, Maple St. E or W, Charlotte St. NW, 7 th St. NE or NW, or Applegrove St. NE or NW. (Ord. 30-2023 eff. 09/22/2023)					
P = Principal use permitted by right in full site/building. FF = Principal use permitted by right in street level/first floor of building. UF = Principal use permitted by right in upper floors of site/building. C = Conditional use A = Accessory use NP = Use Not Permitted					

SECTION 1136.06 BUILDING PLACEMENT

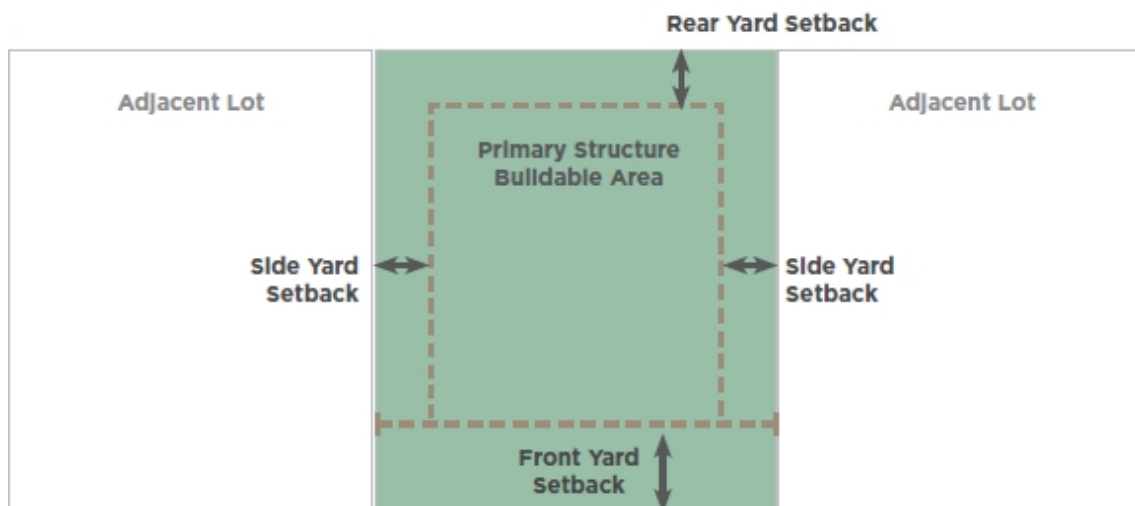
Every building shall be located on a lot in compliance with the setback and spacing requirements set forth in this Section.

(a) Schedule 1136.06(a) Schedule of Building Setbacks.

	MS-C	MS-NG	MS-N	MS-S	MS-SG
Minimum Front Yard Setback	0 ft.	0 ft.	0 ft.	0 ft.	0 ft.
Maximum Front Yard Setback	0 ft. (a)	N/A	20 ft. (a)	20 ft. (a)	N/A ft.
Minimum Side Yard Setback	0 ft.	10 ft.	0 ft.	0 ft.	10 ft.
Maximum Side Yard Setback	5 ft.	N/A ft.	20 ft.	20 ft.	N/A ft.
Minimum Rear Yard Setback	0 ft.	30 ft.	20 ft.	20 ft.	30 ft.

Notes:

(a) Up to 25 feet with outdoor dining.

(b) Figure 1136.06(b) Regulatory Graphic Illustrating Lot Standards

(c) Spacing between Buildings on the Same Lot. Whenever two or more buildings are located on the same lot and such buildings do not share a common wall, the buildings shall maintain the minimum separation specified in the Building Code.

SECTION 1136.07 RESIDENTIAL DENSITY REQUIREMENTS

Land areas shall be divided and developed, and buildings shall be erected, altered, moved, and maintained in Business Districts only in compliance with the following regulations.

(a) Schedule 1136.07(a) Schedule of Permitted Residential Density Per Acre.

	MS-C	MS-NG	MS-N	MS-S	MS-SG
Maximum Units Per Acre	18	7	7	7	7

SECTION 1136.08 HEIGHT REGULATIONS

The height of all buildings and structures shall conform to the following:

(a) Schedule 1136.08(a) Schedule of Permitted Building Heights.

	MS-C	MS-NG	MS-N	MS-S	MS-SG
Minimum Building Height	25 ft.	0 ft.	25 ft.	25 ft.	25 ft.
Maximum Building Height	50 ft.	45 ft.	45 ft.	45 ft.	45 ft.

(b) Principal buildings in excess of stated maximums up to fifty percent (50%) over stated maximums may be permitted as a conditional use when the Planning Commission determines that the conditional use criteria set forth in Sections 1145.02 and 1145.03 have been met.

(c) Wireless telecommunication facilities shall comply with the height regulations set forth in Chapter 1157.

SECTION 1136.09 BUILDING DESIGN STANDARDS

(a) Figure 1136.09(a) Illustrative Graphic from North Canton Master Plan 2012.

(b) In all Main Street Districts:

- (1) The front elevation of all structures must be comprised of any or all of the following exterior-rated materials:
 - (A) Masonry, including “Hoover” brick or natural cut stone;
 - (B) Natural stucco; or
 - (C) Stained or painted exterior finish wood clapboard siding, engineered wood, or fiber cement siding.
- (2) Concrete Masonry Units (CMUs), whether split-faced or decorative, may not be used on any portion of the exterior of any building within any of the Main Street Districts.

- (3) Synthetic stucco or exterior insulation finish systems (EIFS) may not be used on any portion of the exterior of any buildings within any of the Main Street Districts.
- (4) Decorative concrete simulated stone masonry may be used on the front elevation of a structure in place of natural cut stone if the Director of Development Services determines that the substitute material is consistent with the quality, level of aesthetics, and maintenance rating of the material otherwise required herein.
- (5) Durable masonry brick veneer panels may be used on the front elevation of a structure in place of cut stone if the Director of Development Services determines that the substitute material is consistent with the quality, level of aesthetics, and maintenance rating of the material otherwise required herein.
- (6) Woodgrain texture vinyl siding may be used as trim material on the front elevation of a structure in place of engineered wood or fiber cement siding if it comprises less than 10% of the total front elevation materials and if the Director of Development Services determines that the substitute material is consistent with the quality, level of aesthetics, and maintenance rating of the material otherwise required herein.
- (7) Pre-cast concrete panels may be used as trim material on the front elevation of a structure in place of any other required exterior materials if it comprises less than 25% of the total front elevation materials and if the Director of Development Services determines that the substitute material is consistent with the quality, level of aesthetics, and maintenance rating of the material otherwise required herein.
- (8) Architectural metal siding panels may be used as a primary material on the front elevation of a structure in place of any other required exterior materials if it comprises less than 60% of the total front elevation materials and if the Director of Development Services determines that the substitute material is consistent with the quality, level of aesthetics, and maintenance rating of the material otherwise required herein.
- (9) The Director may approve other substitute materials not yet developed or unknown to the city as of the date of adoption of this Chapter 1136 if the Director determines that the substitute material is consistent with the quality, level of aesthetics, and maintenance rating of the material otherwise required herein.

(c) Schedule 1136.09(c) Schedule of Ground Floor Design Standards.

	MS-C	MS-NG	MS-N	MS-S	MS-SG
Minimum Commercial Ground Floor Area	100%	75%	100%	100%	75%
Minimum Ground Floor Frontage Transparency	70%	50%	50%	50%	50%

SECTION 1136.10 SITE LAYOUT STANDARDS

(a) In the event of any plat, replat, or subdivision of land within any Main Street District no lot smaller than half an acre may be created if such lot has, or will have, frontage on any of the following roadways:

- (1) Main St. N or S,
- (2) Maple St. E or W,
- (3) Charlotte St. NW,
- (4) 7th St. NE or NW, or
- (5) Applegrove St. NE or NW.

(b) In all Main Street Districts:

- (1) Main entrance locations must be oriented to the front lot line; and
- (2) Walkways must be built to connect the main entrance to both the site driveway or parking area and the sidewalk.

(c) In MS-C, MS-N, and MS-S Districts accessory structures are not permitted.

(d) In MS-NG and MS-SG Districts accessory structures are permitted with Multi-Family residential uses only.

(Ord. 30-2023 eff. 09/22/2023)

SECTION 1136.11 PARKING REGULATIONS

Off-street parking areas shall conform to the parking requirements specified below.

(a) In all Main Street Districts:

- (1) There is no required minimum number of parking spaces;
- (2) Parking spaces may be angled, perpendicular, or parallel and must be at least 9 feet by 18 feet (9 x 18);
- (3) Drive aisles shall be a minimum of twelve (12) feet wide and a maximum of sixteen (16) feet wide except in MS-C which shall have a minimum width of ten (10) feet and a maximum width of fourteen (14) feet;
- (4) Parking Areas may connect to adjoining parking areas located on adjacent lots; and
- (5) Parking shall be set back a minimum of five (5) feet from the public right-of-way and adjacent property except as provided below.

(A) In the MS-C District parking has nonminimum setback from adjacent properties.

(b) In MS-C, MS-N, and MS-S Districts:

- (1) A maximum of one (1) curb cut is permitted per street frontage;
- (2) Parking must be located in the rear or side yards;
- (3) Loading locations must be located in the rear yard.

(c) In MS-NG and MS-SG Districts:

- (1) A maximum of two (2) curb cut is permitted per street frontage;
- (2) Parking must be located in the rear, side, or front yards provided that no more than one-third (1/3) of the total parking is located in the front yard; and
- (3) Loading locations must be located in the rear or side yards.

SECTION 1136.12 FOOD AND BEVERAGE PICK-UP STANDARDS

(a) Drive-Thru Standards. In all Main Street Districts drive-thru facilities shall comply with the following:

- (1) Have a minimum vehicle stacking capacity of six (6) vehicles;
- (2) Have a maximum of two (2) lanes which shall have a minimum width of ten (10) feet, and be set back a minimum of ten (10) feet from both the curb cut and any property line with no more than two (2) windows for service;
- (3) Have a maximum of two (2) menu boards located in the rear yard which is no larger than thirty-six (36) square feet and no taller than eight (8) feet; and
 - (A) Such menu board does not count towards the property's total sign allowance.
- (4) May use video and sound equipment to provide service but only when open for business.

(b) Drive-Up Window Standards. In all Main Street Districts drive-up facilities shall comply with the following:

- (1) Have a minimum vehicle stacking capacity of four (4) vehicles;
- (2) Have a maximum of two (2) lanes which shall have a minimum width of ten (10) feet, and be set back a minimum of ten (10) feet from both the curb cut and any property line with no more than one (1) window for service;
- (3) Have a maximum of two (2) menu boards located in the rear yard which is no larger than thirty-six (36) square feet and no taller than eight (8) feet; and
 - (A) Such menu board does not count towards the property's total sign allowance.
- (4) May not use video and sound equipment to provide service.

(c) Walk-Up Window Standards. In all Main Street Districts walk-up facilities shall comply with the following:

- (1) Have a maximum of one (1) window for service;
- (2) Have a maximum of one (1) menu board affixed to a building wall which is no larger than four (4) square feet; and
 - (A) Such menu board does not count towards the property's total sign allowance.
- (3) May not use video and sound equipment to provide service.

(Ord. 68-2024, eff. 1/9/2025)

SECTION 1136.13 OUTDOOR DISPLAY

Outdoor display of merchandise for sale, when permitted, shall comply with the following:

- (a) The outdoor display of merchandise for sale shall:
 - (1) Outdoor display of merchandise for sale shall be limited to products that are customarily associated with the operation of the principal business located on the premises and conducted by employees of such principal business. There shall be no outdoor display of merchandise for sale by any person operating or conducting a business that is different or distinct from the principal business conducted at that location except for temporary displays pursuant to Section 1123.06(b).
 - (2) The area of the lot devoted to outdoor display shall not exceed 25 percent of the ground floor area of the building(s) on the lot.
 - (3) The outdoor display area shall comply with the building setback requirements set forth in Schedule 1137.05 for the district in which the lot is located.
 - (4) The outdoor display area shall not be located in areas intended for traffic circulation as identified on the site plan.

SECTION 1136.14 ACCESSORY USE REGULATIONS

Accessory uses permitted in any Business District shall conform to the regulations of this Section.

(a) Accessory Buildings. Accessory buildings that have a gross floor area greater than 200 square feet shall conform to all lot and yard regulations and development plan review and approval requirements of the zoning district in which the parcel or lot is located. All other accessory buildings shall be located in a side or rear yard, shall comply with the parking setbacks.

(b) Accessory Outdoor Swimming Pools and other Accessory Recreational Facilities. Accessory outdoor swimming pools and other accessory recreational facilities shall comply with the following requirements:

- (1) Such accessory facilities shall be adequately fenced to prohibit unauthorized access to the facility.
- (2) Such accessory facilities and their enclosures shall comply with the building setback requirements.
- (3) The enclosure required in subsection (c)(1) above shall be kept locked at all times the facility is not in use.

SECTION 1136.15 FENCES AND SCREENING

(a) Fences. Fences are permitted in all Main Street Districts in accordance with the following:

- (1) Fences may be no more than eight (8) feet tall except as follows;
 - (A) In MS-C fences may be no more than six (6) feet tall.
- (2) Fences may only be in rear or side yards;

- (3) Fences must be made out of, vinyl, or non-chain-link metal fence except as provided below.
 - (A) Gates must be made from the same material as the corresponding fence.
 - (B) In MS-C and MS-SG fences may not be made out of vinyl.
 - (C) Wrought Iron or wrought iron simulation fences may be supported by brick and/or stone supports or foundations.
- (4) In MS-C, fences taller than four (4) feet are only permitted on parcels of one (1) acre or more.

(b) Dumpster Screening. Dumpster screening is permitted in all Main Street Districts in accordance with the following:

- (1) Screening must be at least six (6) feet tall but no more than eight (8) feet tall; and
- (2) May only be located in the rear yard, or located in rear or side yards for MS-NG and MS-SG districts.

(Ord. 28-2024 eff. 08/01/2024)

SECTION 1136.16 LANDSCAPING AND SCREENING REQUIREMENTS

(a) In all Main Street Districts a landscaping plan must be submitted as part of the site development plan.

(b) Except in the MS-C District, parking lots must have a five (5) foot planted perimeter using native shrubs, trees, and plants planted at their minimum planting distance.

- (1) Figure 1136.16(b)(1) Illustrative Parking Lot Perimeter.



(c) Except in the MS-C District, landscaping plans must include permitted shade trees planted in the front yard, corner yard where applicable, and/or tree lawn so as to provide shade over the sidewalks right-of-way abutting the site. The following varieties of trees are permitted:

- (d) Eastern Red Bud
- (e) Eastern Red Cedar
- (f) Pagoda Leaf Dogwood
- (g) Black Gum
- (h) Amur Cork Tree*
- (i) Norway Maple*
- (j) Hedge Maple*
- (k) Japanese Cherry*

*Non-Native

SECTION 1136.17 (REPEALED)

Repealed by Ord. 69-2022 effective 02/24/2023.

SECTION 1136.18 PERFORMANCE STANDARDS

All uses shall comply with the following performance standards.

(a) Waste Receptacles. All solid waste products, including empty packing boxes, that result from any permitted, conditional or accessory use shall either be disposed of, stored in buildings, or completely enclosed in containers. Such building, container, or dumpster shall be located in a side or rear yard and shall comply with the minimum parking setbacks established and be screened.

(b) Lighting. The placement, orientation, distribution patterns, and fixture types of outdoor lighting shall comply with the regulations set forth in Section 1155.11.

(c) Enclosure. All uses and operations, except off-street parking and loading facilities, shall be performed wholly within enclosed buildings unless specifically permitted otherwise.

SECTION 1136.19 SUPPLEMENTAL REGULATIONS FOR MAINSTREAM MEDIA SHOPS

In addition to the above regulations, a mainstream media shop may carry adult media provided the mainstream media shop shall comply with the following standards:

- (a) The amount of an area devoted to adult media shall comply with the following:
 - (1) Adult media shall not constitute more than 33 percent of the shop's stock in trade; and
 - (2) Adult media shall not occupy more than 33 percent of the shop's floor area.

(b) All adult media shall be confined to a separate room or section of the shop and such room or section shall:

- (1) Not be open to any person under the age of 18;
- (2) Be physically and visually separated from the rest of the store by an opaque wall of durable material, reaching at least eight (8) feet high or to the ceiling, whichever is less;

- (3) Be located so that the entrance to it is as far as reasonably practicable from media or other inventory in the store likely to be of particular interest to children.
- (4) Have access controlled by electronic or other means to provide assurance that persons under age 18 will not easily gain entrance and that the general public will not accidentally enter such room or section or provide continuous video or window surveillance of the room by store personnel;

Provide signage at the entrance stipulating that persons under 18 are not permitted inside.

SECTION 1136.20

DEVELOPMENT PLAN REVIEW

(a) All conditional uses in a Main Street district shall be permitted only after development plans have been reviewed and approved by the Planning Commission according to the procedures set forth in Chapter 1175.

(b) All permitted uses in a Main Street district shall be permitted only after development plans have been reviewed and approved by either the Director of Permits or the Planning Commission according to the procedures set forth in Chapter 1175.